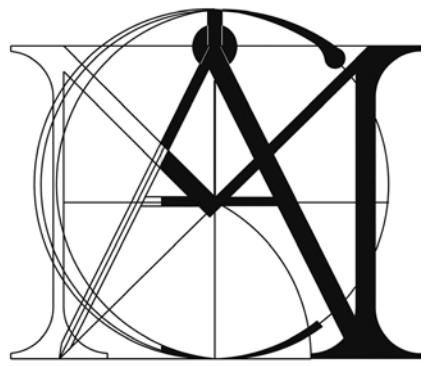




MATTHEW CHENG
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Revision:

2	2025-04-29	ADP SUBMISSION	NG MC
1	2024-12-03	DP SUBMISSION	NG MC

REV	YY-MM-DD	DESCRIPTION	DRWN\CHK
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Architect's Sign and Seal

Project Title

PROPOSED
30-UNIT
TOWNHOUSES

2453 LABIEUX RD.,
NANAIMO, B.C.

Sheet Title

SITE PLAN-1

RECEIVED
DP1367
2025-APR-30
Current Planning

Drawn: DS

Checked: MC

Scale: As indicated

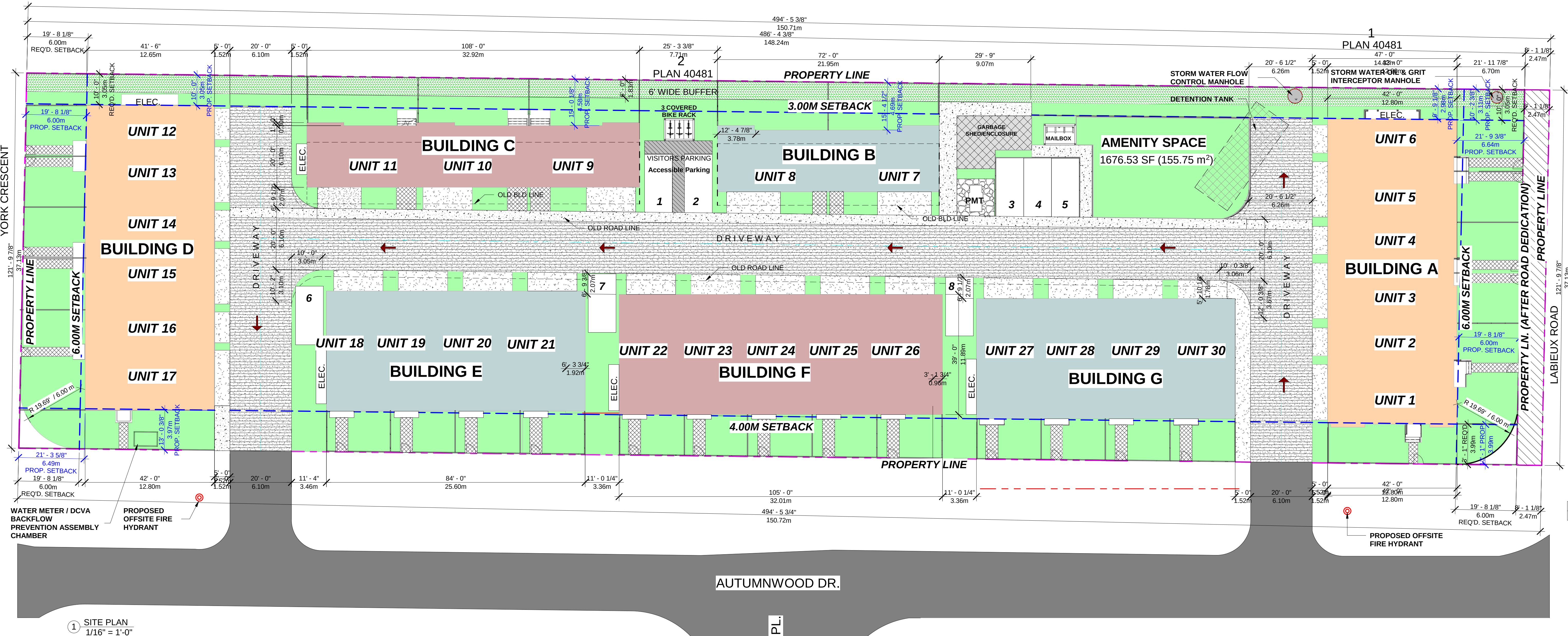
Project Number: 22NTH01
Print Code: 406

Revision Date:
2025-04-16

Print Date:
4/29/2025 3:16:17 PM

Dwg. No.:

A0.1



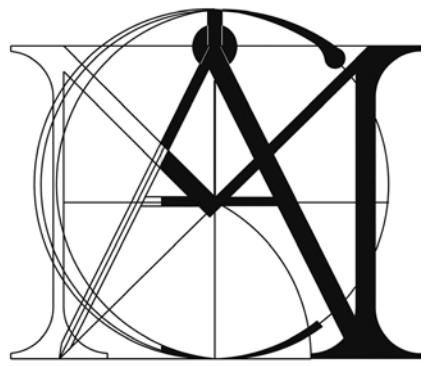
1 SITE PLAN
1/16" = 1'-0"

PROJECT DATA

	EXISTING		PROPOSED	
	METRIC (M/SM)	IMPERIAL (F/SF)	METRIC (M/SM)	IMPERIAL (F/SF)
CIVIC ADDRESS	2453 LABIEUX RD., NANAIMO, BC V9T 3M5			
LEGAL DESCRIPTION	LOT C, SECTION 19, RANGE 6, MOUNTAIN DISTRICT, PLAN 21063			
PID	003-430-979			
SITE AREA	5,596.65	60,241.93	5,505.10	59,256.30
ROAD DEDICATION	-	-	91.57	985.63
LAND USE	SINGLE FAMILY		TOWNHOUSE	
ZONING	R1		R6	
NO. OF DWELLINGS	1		30	
	REQUIRED/ALLOWED		PROPOSED	
	METRIC (M/SM)	IMPERIAL (F/SF)	METRIC (M/SM)	IMPERIAL (F/SF)
FLOOR AREA RATIO (FAR)	0.45		0.63 (TIER 2 - 65 POINTS)	
LOT COVERAGE	40%		40%	
GROSS FLOOR AREA TOTAL	2,482.87	26,725.43	3,483.12	37,492.00
FRONT SETBACK (NORTH)	6.0	19' 8"	6.0, 6.64	20' 9", 21' 9 3/8"
SIDE SETBACK (EAST)	4.0	13' 1"	4.0	13' 1"
SIDE SETBACK (WEST)	3.0	9' 10"	3.0	9' 10"
REAR SETBACK (SOUTH)	6.0	19' 8"	6.02, 6.49	19' 8 7/8", 21' 3 5/8"
BUILDING HEIGHT (SLOPED ROOF)	9.0	29' 0 1/2"	11.30	37' 0 1/2"
OFF-STREET PARKING (RESIDENTIAL/VISITOR)	2 (3 BEDROOMS)		2 (3 BEDROOMS) + 3 VISITOR PARKING	
OFF-STREET PARKING (TOTAL)	60		63	
COMM. ACTIVITY/AMENITY AREA	-	-	186	1,998

HATCH LEGEND:

	ASPHALT DRIVEWAY
	ROAD / LANE DEDICATION (SEE CIVIL AND LANDSCAPING OFF-SITE JOB)
	BUILDING AREA
	PERMEABLE PAVERS (SEE LANDSCAPING PLAN)
	OPEN OUTDOOR SPACE
	PAVED WALKWAYS (REFER TO LANDSCAPING PLAN)
	PROP. CONCRETE WALKWAY
	6' WIDE BUFFER



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REV	YY-MM-DD	DESCRIPTION	DRWN CHK
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Architect's Sign and Seal

Project Title

PROPOSED
30-UNIT
TOWNHOUSES

2453 LABIEUX RD.,
NANAIMO, B.C.

Sheet Title

SITE PLAN-2

RECEIVED
DP1367
2025-APR-30
Current Planning

Drawn: Author

Checked: Checker

Scale: As indicated

Project Number: 22NTH01

Print Code: 406

Revision Date:

2025-04-16

Print Date:

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Dwg. No.:

A0.2

TREES LEGEND:

- LANDMARK TREES
- TREE PROTECTION ZONE (TPZ)
- TREES TO BE RETAINED
- TREES TO BE REMOVED

HATCH LEGEND:

- ASPHALT DRIVEWAY
- ROAD / LANE DEDICATION (SEE CIVIL AND LANDSCAPING OFF-SITE JOB)
- BUILDING AREA
- PERMEABLE PAVERS (SEE LANDSCAPING PLAN)
- OPEN OUTDOOR SPACE
- PAVED WALKWAYS (REFER TO LANDSCAPING PLAN)
- PROP. CONCRETE WALKWAY
- 6' WIDE BUFFER

2 SITE PLAN-2
3/64" = 1'-0"